



Land off Mill Lane, Whitburn
Draft Construction Management Plan

July 2026

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1. Introduction

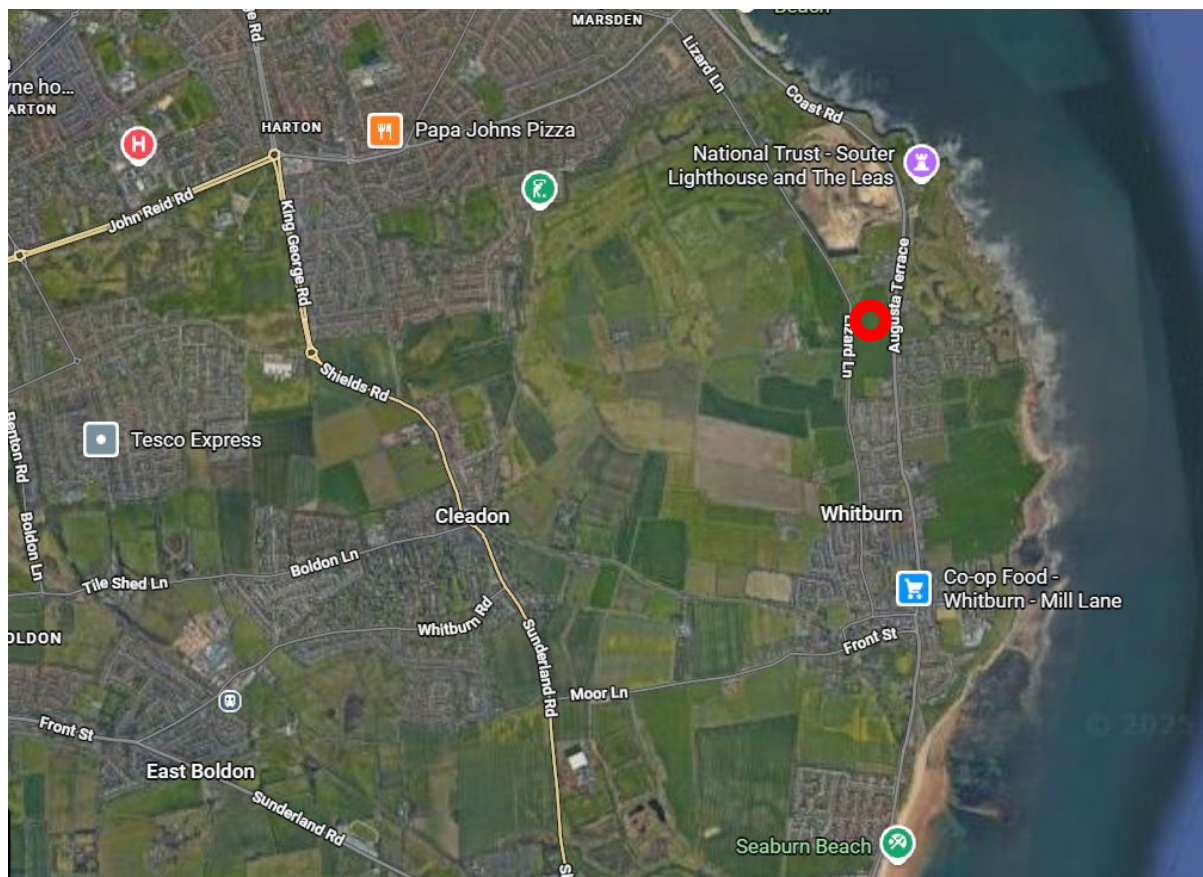
- 1.1 This Draft Construction Management Plan has been prepared by Story Homes Ltd to minimise the impact of the construction of residential development at a site off Mill Lane, Whitburn, on the surrounding community, both for the construction on-site and the transport arrangements for servicing the site.
- 1.2 It addresses how any impacts associated with the proposed works will be mitigated. The contents of the draft Construction Management Plan will be complied with unless otherwise agreed with South Tyneside Council.

2. Site and Surroundings

Site Location

- 2.1 The site is located in the northern part of Whitburn, off the coast between South Shields and Sunderland and is located to west of A183, Mill Lane.

Figure 2.1: Site Location Plan



Description of Site and Surroundings

- 2.2 The application site shown in Figure 2.2, extends to an area of approximately 10.7 hectares in total. The site comprises of an agricultural field with boundary stone wall along Mill Lane and hedgerows to the western boundary off Lizard Lane.
- 2.3 To the southern part of the site lies the existing residential area of Whitburn, with open rural landscape with scattered farmsteads and agricultural land. Smaller residential development, coupled with terraced streets, allotments and a Church beside Marsden Quarry located to the northern part of the site.
- 2.4 Whitburn is served by East Boldon metro station, approximately 3 miles from the site boundary, and has regular services stopping throughout the day. The site has several bus stops located either side of the site off Mill Lane and Lizard Lane, served by Stagecoach Bus Service E1, E2 and E6 within 0.3m walking distance.
- 2.5 Whitburn Village Centre is approximately 1km from the site offering a range of shops and services including a hair salon, takeaway, restaurant, news agent and post office.

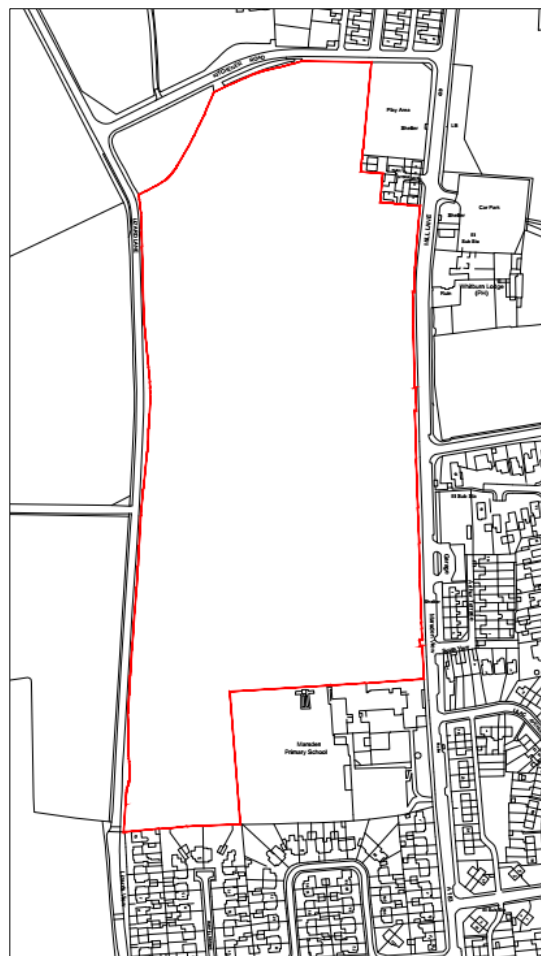


Figure 2.2: Red Line Boundary

3. Description of Proposals

- 3.1 The proposals are for residential development consisting of 205 dwellings and the application proposals include the following:

Residential – 205 dwellings including a range of 1, 2, 3, 4 and 5 bed properties.

Landscape and Open Space – large areas of landscaping / open space will be delivered within the site to provide usable amenity space and biodiversity benefits;

Drainage – The scheme includes the use of a Sustainable Drainage System (SuDS); and

Transport and Access – The development will have one access point served off A183 (Mill Lane). The layout also incorporates pedestrian and cycle routes to improve permeability and connectivity through the site.

4. Working Hours

- 4.1 Construction work, including the use of plant and machinery as well as deliveries to and from the site, shall not take place outside the following hours without the prior written permission from the Local Planning Authority:

- 0800 to 1800 Monday to Friday; and
- 0800 to 1400 Saturdays
- No working on Sundays or Bank or Public Holidays

- 4.2 It is considered that these hours relate to noisy works which are audible beyond the site boundary to the unacceptable detriment of residential amenity. It is not a 'blanket' prohibition of work at all times. Painting by hand, for example, could be undertaken outside these hours without having a detrimental impact on others. Similarly, the above restrictions will not normally apply to small scale domestic do-it-yourself type activities that would form part of the development works. This would include internal fitting out of and finishes to dwellings such as any internal maintenance activities to water, electrical or gas provisions within dwellings.

5. Communication

- 5.1 Story Homes Ltd will ensure that the effects of site activities are mitigated wherever feasible and practicable as part of the scheme.
- 5.2 Story Homes Ltd will also erect signage at key points around the site with information on the site activities. Information will be available for the local community upon request.
- 5.3 Information will be published at the perimeter of the site to ensure that users of Mill Lane and others are aware of any proposed works to roads or pathways in the vicinity of the site.

- 5.4 The site management team will provide a contact telephone number on the site boundary signage so that any concerns about construction activities can be communicated directly to the appropriate site operative who will be able to address concerns and control activities accordingly. This person will be responsible for recording complaints and actions.
- 5.5 A letter drop to local residents to the local residents will be carried out providing site/office contact details.
- 5.6 Operatives employed on site will be informed at site induction of the importance of maintaining good relations in the local area.

6. Emergency Contact

- 6.1 The site will display the Site Manager for the development and an emergency contact number on the hoarding so that should any out of hour's issues arise an appropriate member of the Story Homes Ltd team can be contacted to assist.
- 6.2 Alternatively, Story Homes Ltd.'s Customer Service department can be contacted by phone on 01228 404566, by email at service@storyhomes.co.uk or by text on 0778 148 2974. Emergency cover is also provided 24 hours per day, seven days a week.

7. Access

- 7.1 In the interests of safety, members of the public will be prevented from accessing the site. The site will be securely hoarded by 2.4m high hoarding/1.8m high Herras fencing and entranced/exit locations for site vehicles. These will be secure gates that will be kept locked when not in use and controlled by Story Homes Ltd.
- 7.2 Story Homes Ltd will ensure that pedestrians and vehicles are segregated within the site boundary through the use of appropriate barriers and separate routes where this is feasible.
- 7.3 Car parking for site workers and visitors will be provided on-site adjacent to the site compound as specified in the Draft Construction Execution Plan in Appendix 1. Site operatives will be instructed not to park on any roads surrounding the site.
- 7.4 In the interests of maintaining a safe working environment and minimising potential conflict between construction activities and sales operations, Story Homes would like to explore the opportunity to provide a temporary construction access. Subject to discussions with the Council and agreement in principle to such an arrangement, initial consideration is being given to an access from Kitchener Road.
- 7.5 The suitability of this access would then be subject to confirmation of appropriate levels and the location of existing utility apparatus and other services. Should the proposal be considered acceptable, it is acknowledged that a Section 184 licence application would be required to formally implement the access at the appropriate stage, with detailed drawings submitted to the Highway Authority for review and approval.

8. Construction Traffic Management

- 8.1 Within the site, construction traffic will be carefully managed so that all vehicles will drive into and out of the site via construction accesses. All construction or site traffic shall enter and leave the site from Mill Lane and no other roads. A Traffic Management Plan will be developed prior to commencement and implemented to facilitate the safe access and egress of construction traffic to the site and secured through appropriate agreements.
- 8.2 Entrance gates are provided at the construction access point to secure the site when closed. Right of way for other highways users and pedestrians will be accommodated at all times.
- 8.3 Appropriate signage will be erected at the site entrances for access and egress to ensure priority is given to pedestrians and other road users of Mill Lane to prevent clashes with construction traffic. Signage will also be provided on Mill Lane and Lizard Lane to warn site operatives not to park on the road verges.
- 8.4 The management of the site will ensure that all vehicles will drive into and out of the site in forward direction. Story Homes Ltd will seek to get delivery vehicles on to site as quickly as possible to minimise traffic impacts on the surrounding highway network. Large deliveries will be planned to ensure HGV's do not conflict at the site entrance. In addition, no deliveries or significant plant/machinery movements will be permitted during school start and finish times in order to avoid conflict with peak school-related traffic and pedestrian activity.
- 8.5 All suppliers and contractors will be informed of the site's traffic management requirements upon appointment. In particular, they will be instructed that no vehicles should attempt U-turns at the junctions with Mill Lane or on other roads in the vicinity of the site. Contractors and suppliers will also be advised of the restrictions on deliveries and machinery movements during school opening and closing periods, which must be observed at all times.
- 8.6 All subcontractors will be made aware of these requirements during the tender process, and their instructions will include details of permitted delivery times, vehicle routing and expected driver behaviour. Particular emphasis will be placed on the requirement that no deliveries or significant machinery movements are undertaken during school drop-off and pick-up periods. If necessary, vehicles will be turned away from the site, and repeat offenders will not be permitted to deliver to site, with alternative arrangements being made where required.
- 8.7 All materials will be delivered and offloaded by crane or forklift in specific areas. A lifting plan will be implemented in relation to all lifting operations involving lifting equipment. All lifting operations will be undertaken in accordance with Lifting Operations and Lifting Equipment Regulations 1998 (LOLER).

9. Proposed Construction Traffic Routes to Site

- 9.1 Incoming construction traffic to the site will be directed using signage and prior instruction during the procurement and order stage. Heavy construction traffic travelling to and from the site will be requested to follow specific routes as proposed in Appendix 2 which will be confirmed at discharge of condition stage with the Council. It is envisaged that this

information will be communicated in the form of a leaflet or email and will include information with regard to times of operation, delivery routes, the call up procedure and delivery slot information.

- 9.2 There will be dedicated zones for vehicles to unload prior to leaving the site. Signage on the hoarding will be used to ensure that site access and egress points are clearly identified.
- 9.3 Story Homes Ltd will manage deliveries to minimise disruption in the local area to avoid congestion. Sufficient time will be given between deliveries to allow for any delays as a result of the delivery vehicle getting stuck in traffic or the loading/unloading taking longer than expected to avoid vehicles waiting on the surrounding highway network so far as is reasonably practicable.

10. Construction Site Compound and Storage

- 10.1 Main project offices will be established in a site compound in the central part of the site and can be seen in the Draft Construction Execution Plan in Appendix 1. The main office area will be used by Story Homes Ltd and contractors where necessary. The offices will be constructed from modular structures and stacked two tiers high where appropriate to reduce the overall footprint. The main office area will include welfare facilities including toilets and kitchen facilities for staff.
- 10.2 Lay down areas have been identified on the main site for materials, equipment, and vehicles in the site compound. This includes containers for storage of equipment and materials, silos for materials on a concrete base, locations for generators and an area of hardstanding for vehicles and materials. It will be secured by the external 2.4m hoarding and there will be a 1.2m post and rail fence separating the area from the containers. Waste management, fuel storage areas and a generator will be located within these areas.
- 10.3 The site compound and associated car parking will be appropriately lit for safety and security.

11. Hoardings

- 11.1 The site shall be fenced at key locations. The fencing will include:
- 2.4m hoarding, plywood faced, timber framed, with a surface density of not less than 7Kg/sqm for security and noise limitation purposes; or
 - Heras fencing and sheeting; or
 - 1.8m high anti-climb Heras fencing covered in debris netting.

The provisions of the Health and Safety at Work Act 1974 will be followed in all cases.

- 11.2 Access through the hoarding will only be through gates located on Mill Lane which are set back from the highway and will not open towards the highway in the interest of highway safety.

- 11.3 Security will be in place to prevent unauthorised entry or exit from the site as required. Site gates will be closed and locked outside operational hours with site security provisions.

12. Environmental Protection

Dust and Dirt

- 12.1 Story Homes Ltd shall introduce a number of measures to control dust and dirt during the construction phase of the development. Dust levels will be visually monitored and will be controlled through actions including:
- Dampening down of exposed stored materials, which will be stored as far from sensitive receptors as possible;
 - Avoidance of activities that generate large amounts of dust during windy conditions;
 - Remove top cover in small areas and not all at once and re-vegetate surfaces as soon as possible to seal the surface;
 - Ensure all vehicles switch off engine when stationary – no idling vehicles;
 - Ensuring bulk cement and other fine powder materials are delivered in enclosed tankers and stored in silos with suitable emission control systems to prevent escape of material and overfilling during delivery;
 - Haul roads within the site will be kept clean with regular road sweeping undertaken within the site. Following incidences of severe weather or site-specific operations additional cleaning will take place. Dry sweeping of large areas will be avoided;
 - To minimise dirt from leaving the construction site, a pressure washer will be available at the site compound to enable the wheel wash of all associated construction vehicles. The availability of a pressure washer and site use will be monitored by the Site Manager. Wheel washing will be carried out manually and will help prevent public highways from getting soiled. Any dirt collected will not be allowed to enter the existing drainage system without treatment, this will be supplemented by keeping the on-site roads clean as required with a road brush forklift attachment or road brush.
 - Ensuring that all vehicles will be sheeted prior to travelling on the public highway network;
 - The section of Mill Lane in the vicinity of the site access, together with any areas identified as being affected by construction traffic, will be maintained in a clean condition through regular inspection and road sweeping as necessary.
 - Should mud, dust or debris be deposited on the public highway, it will be removed promptly and additional cleansing measures implemented where required.
 - Confining vehicles to areas of the site where appropriate dust control measures can be in operation;
 - Ensuring there are no bonfires and burning of wastes (including greenery);

- Impose and sign post a speed limit of 15mph on surfaced roads and 10mph on un-surfaced roads within the construction site;
 - During dry periods the application of damping down techniques using water suppression;
 - Ensure cutting and grinding operations are adequately shielded or wetted;
 - Store fine dry materials in area adequately protected from wind;
 - Stripping, storage, handling and spreading of soil being in accordance with current best practices; and
 - Good soil handling and storage methods being applied including the protection of stockpiles.
- 12.2 Prior to starting any works which would create excessive dust, site management will notify neighbours as to what activities Story Homes Ltd plans to do and the expected duration.
- 12.3 All dust and air quality complaints will be recorded in an environmental logbook and appropriate measures be taken to identify causes and reduce emissions in a timely manner. Exceptional incidents that cause dust and/or emissions, and the action taken to resolve the situation, should be recorded in a logbook and made available to South Tyneside Council on request.

Wheel Washing

- 12.4 To minimise dirt from leaving the construction site, a wheel washing facility will be available near to the entrance of the site compound to enable the wheel wash of all associated construction vehicles. The available and use of the wheel washing facility will be monitored by the Site Manager.
- 12.5 Wheel washing will be provided and utilised as necessary to prevent mud and debris from being carried or migrating onto the public highway. Any dirt collected will not be allowed to enter the existing drainage system without treatment. A Manual Inspection will be undertaken to ensure there is no loose debris. The Wheel Wash facility would be in place and fully operational for the start of the development and will remain in place for the duration of the build period.

Highway Condition Survey

- 12.6 Prior to the commencement of any site preparation or construction works, a pre-commencement dilapidation survey will be undertaken of the local highway network. The extent of the survey area will be agreed with STC Highways, as necessary, having regard to the proposed construction access routes and those sections of highway reasonably likely to be affected by construction traffic. A representative of STC Highways will be invited to attend the survey. The survey will provide a baseline record of the condition of the relevant carriageways, footways, verges, drainage features and associated highway infrastructure prior to development commencing.

Contaminated Land

- 12.7 All waste from the site, including any potentially contaminated land resulting from excavations will be taken to an appropriate waste site by recognised contractors. Story Homes Ltd will manage any unknown hotspots discovered during construction works in accordance with best practice. This will ensure that personnel carrying out invasive works in the ground will be protected and remediation will be to approved standards.

Run-off from Site

- 12.8 Water from the site containing silt, mud or other suspended solids will not be discharged to any watercourse, surface water drainage system or the pond on-site. Appropriate silt control measures will be implemented throughout the construction period to prevent sediment-laden runoff from leaving the site. Silt, mud and contaminated runoff will also not be permitted to migrate onto the public highway, with suitable controls and housekeeping measures employed to maintain clean highway surfaces.

Ecology

- 12.9 All care will be taken to avoid disturbance to wildlife on-site. All work carried out on the site will be carried out under the guidance of appropriately qualified ecological consultants. A Construction Exclusion Zone will be immediately erected to protect areas of Biodiversity Net Gain, secured via heras fencing and signage to inform workers and new and existing residents who may encounter these areas as the development build out over time. These areas will remain in place until the development is built out in its entirety. Any sightings of protected species such as bats or otters on-site will be reported to the Site Manager immediately.

Tree Protection

- 12.10 All trees and hedges to be retained on the site will be appropriately protected during construction in accordance with the provisions of the Arboricultural Method Statement/Tree Protection Plan for the site

13. Noise and Vibration

- 13.1 The principal legislation on the control of noise and vibration is the Control of Pollution Act 1974. Statutory nuisance provisions relating to noise are contained in the Environmental Protection Act 1990. Story Homes Ltd approach set out in this section has been prepared in consideration of the guidance contained within BS5228 "Code of Practice for noise and vibration control on construction and open sites" (2009).

Noise Control – General

- 13.2 All machinery is to comply with the current legislation of 80 dB(A). Noise assessments will be carried out as per Control of Noise at Work Regulations 2005 with records kept. Story Homes Ltd will carefully select plant to ensure noise is minimised.
- 13.3 Any site workers with a daily or weekly exposure to noise levels exceeding 80 dB(A) or a peak pressure of 135 dB(A) will be warned of the dangers of working in noisy environments. They

will be advised of the systems being used by Story Homes Ltd to reduce noise levels and issued with and trained in the use of ear protection.

13.4 Compulsory ear protection will be enforced if noise levels exceeding 85 dB(A) or a peak pressure of 137 dB(A) are reached.

13.5 All sub-contractors will provide full risk assessments and method statements.

Noise Control – Detailed Provisions

13.6 Story Homes Ltd will aim to control noise levels through a number of actions including

- The site will be surrounded by fencing and hoarding;
- Any vehicles and mechanical plant fitted with exhaust silencers will be maintained in good and efficient working order and operated effectively;
- Machines and equipment in intermittent use will be shut down or throttled down to a minimum when not in use;
- Care will be taken when loading or unloading vehicles or dismantling scaffolding or moving materials;
- Within the site compressors will be sound reduced models fitted with properly lined and sealed acoustic covers. These must be kept closed whilst the machinery is in use; and
- All vehicles, plant and equipment should be maintained and operated in a manner so that extraneous noise from mechanical vibration, creaking and squeaking is kept to a minimum.

Lighting

13.7 All temporary lighting at the site will be faced into the site and not directed towards neighbouring areas surrounding the site. Lighting will be limited to that necessary for safety and security in order to limit impacts on on-site ecology.

14. Disposal of Waste and Contaminated Materials

Regulatory Overview

14.1 Story Homes Ltd will comply with the Environmental Protection Act 1990 to ensure that there is a duty of care in respect of those who produce, import, carry, keeps, treats or disposes of controlled waste. Regard will also be had to 'The Duty of Care – Code of Practice' (March 1996) in relation to the use of registered waste carriers and the use of waste transfer notes.

14.2 The Contaminated Land Regulations 2000 define conditions which are deemed to be contaminated, and which must be developed in accordance with the Environmental Protection Act.

14.3 The Pollution Prevention and Control Regulations 2000 which are designed to prevent, reduce and eliminate pollution at source through the efficient use of natural resources.

Implementation is intended to help operators move towards greater environmental sustainability and the regulations contain guidelines for the storage and transfer of contaminated material under a system designed to minimise the impact of contamination.

Fuel and Oil Containment

- 14.4 Story Homes Ltd will provide spill kits on site. Where refuelling is to take place on site the kits will be positioned in locations ready for immediate use.
- 14.5 All fuels that will be stored on site will be in double bunded containers. Fuel delivered to the site under strict criteria to reduce the risk of fuel being left on-site. All plant to be re-fuelled will be done using an electric or hand pump.
- 14.6 Should a spillage occur during re-fuelling, the re-fuelling shall cease, and the spillage will be cleaned up using a spill kit immediately, or as soon as practically safe to do so. Any spillages will be reported to the Site Manager immediately.

Waste

- 14.7 Story Homes Ltd is committed to managing waste arising from its sites. We undertake works in a manner that aims to minimise the amount of waste to be disposed of, and that any waste arising from the site is classified, transported and disposed of in accordance with the Controlled Waste Regulations 1998 (as amended), and the Hazardous Waste Regulations 2005.
- 14.8 Any waste will be managed to maximise the re-use of surplus materials and, in circumstances where off-site disposal to licensed landfill is unavoidable, minimise any adverse environmental effects associated with the disposal.
- 14.9 A Site Waste Management Plan will be maintained on site as required in accordance with any current legislation and updated as required.
- 14.10 Waste products will be evaluated prior to disturbance or removal. All waste products will be identified and appropriate actions for handling and disposal implemented.
- 14.11 Measures to reduce waste arising during the construction period shall include, where practicable, the following:
- Allocate sufficient storage space for materials which can be reused to avoid disposal;
 - Avoid over-ordering of materials;
 - Avoid damage on delivery by using a well laid-out storage and off-loading area;
 - Use prefabrication, if feasible;
 - Avoid repetitive handling;
 - Segregate materials for recycling, such as timber and cardboard wrapping;
 - Salvage topsoil for reuse; and

- Recycle municipal waste from temporary welfare accommodation on site.

14.12 Burning of materials on-site will not be permitted in order to prevent smoke emissions.

Appendices



Appendix 1

Draft Construction Execution Plan



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Site Boundaries:

Site Planning Boundary

Affordable Units:

Denotes Rented Social Landlord (RSL) Unit (41 No.)

Denotes Discount Market Value (DMV) Unit (21 No.)

Denotes First Homes (FH) Unit (20 No.)

Key Site Areas:

Denotes Proposed Compound Area

Detailed Compound Plan to be agreed via discharge of Conditions. Refer to construction management document for basic specifications.

Denotes Proposed Sales Area

Detailed Sales Plan to be agreed via discharge of Conditions.

Denotes Site Construction Access

Construction Traffic to be directed using appropriate signage and Prior Instruction. Refer to Construction Management Document for Local Area Traffic Route.

Build Routes:

Denotes Story Homes Build Direction and Route No.

Indicative: Fixed Build Route to be agreed via Discharge of Condition.



DEVELOPMENT
MILL LANE, WHITBURN

DRAWING
DRAFT CONSTRUCTION
EXECUTION PLAN

DRAWN BY	DR	DATE	09.12.2025
CHECKED BY	-	SCALE	1:1000 @A1
DWG PACK	PLN	DRAWING NUMBER	MLLN.PLN.CEP
		REVISION	P3
Revisions	Notes	Date	
P1	Initial issue for Planning Submission	09.12.2025	
P3	Layout updated to latest version for resubmission. Temporary Access removed from Lizard Lane	07.07.2026	

Appendix 2

Proposed Construction Traffic Route



